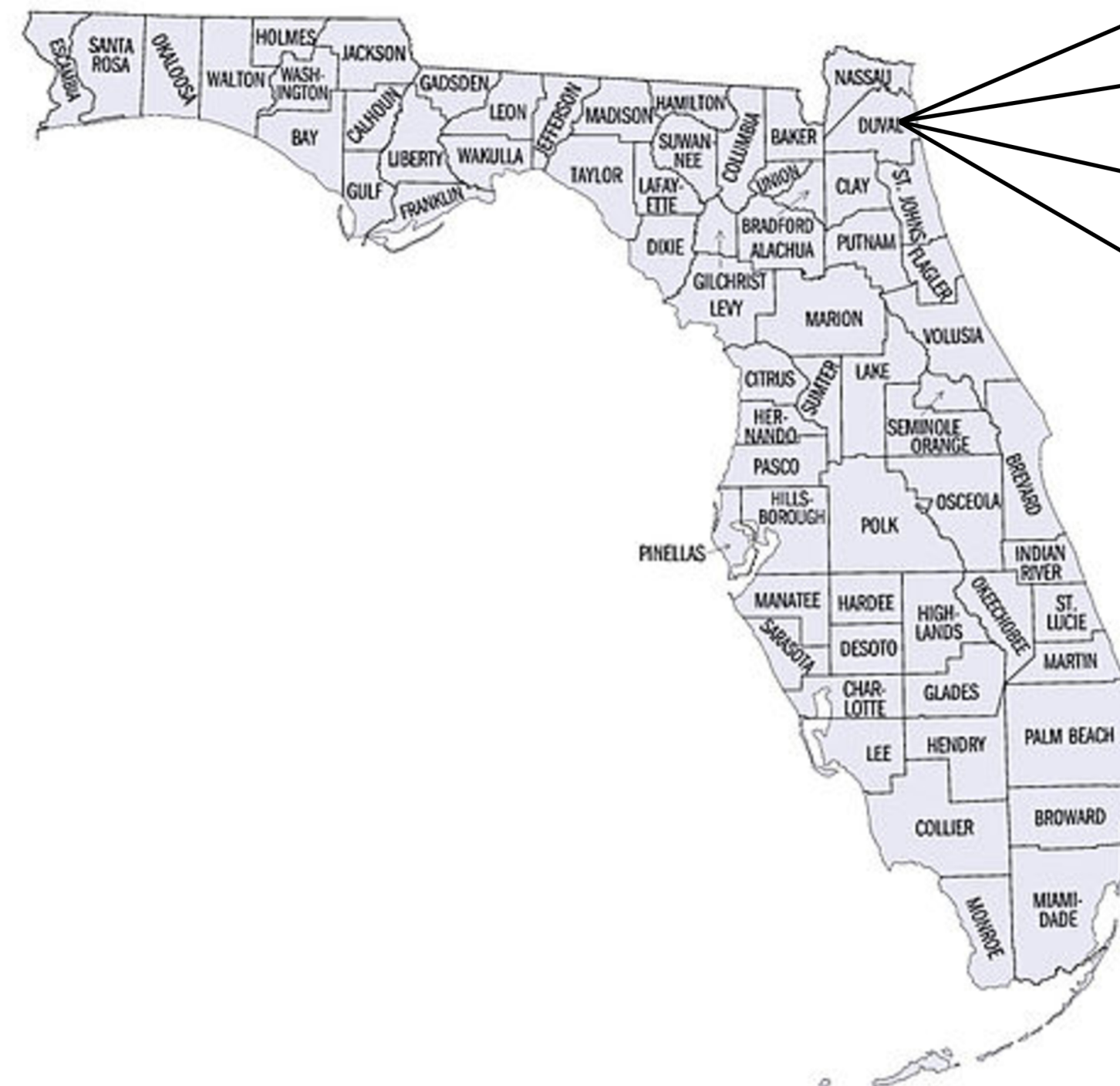




HOME OF THE



PROJECT VICINITY PLAN



PROJECT LOCATION MAP

PLANS FOR
MINOR LEAGUE BASEBALL
PLAYING FIELD RENOVATIONS

DRAWING SET CONTENTS	
Sheet 000	Title Sheet
Sheet PF-1.1	General Notes
Sheet PF-1.2	Field Construction Details
Sheet PF-2.1	Existing Cond. & Demolition Plan
Sheet PF-2.2	Surfacing Plan
Sheet PF-2.3	Grading Plan
Sheet PF-2.3 Alt	Grading Plan – Alternate
Sheet PF-2.4	Drainage Plan
Sheet PF-2.4 Alt	Drainage Plan – Alternate
Sheet PF-2.5	Irrigation Plan
Sheet PF-2.6	Infield Irrigation Plan
Sheet PF-2.7	Horizontal Control Plan

City of Jacksonville, Florida

JUNE 27, 2025

VyStar Ballpark
301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

FOR REVIEW
ONLY
NOT FOR
CONSTRUCTION

DRAWINGS PREPARED BY:



4MOST
SPORT GROUP

Project Number: 4M-120-S1-B

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GENERAL NOTES

BIDDERS ARE EXPECTED TO EXAMINE THE SITE AND ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE CHARACTER AND LOCATIONS OF MATERIALS TO BE ENCOUNTERED. ALL CONTRACTORS DESIRING TO TAKE SOIL BORINGS ON THIS PROJECT MUST OBTAIN PERMISSION FROM THE CITY OF JACKSONVILLE AND FROM PROPERTY OWNERS IN THE EVENT THE PROPOSED INVESTIGATION IS ON PRIVATE PROPERTY.

THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE DESIGN CONSULTANT. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE DESIGNER. ANYONE WHO TAKES THE INTERPRETATION OF THE DRAWINGS UPON THEMSELVES, OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGNER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.

THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND/OR SITE VISITATION.

PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK, AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER, ENGINEER OR DESIGNER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACTOR DOCUMENTS.

THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.

THE DESIGNER WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS/HER REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY. FOR PIPE WORK, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING TRENCHES OPEN SO THAT AS-BUILTS CAN BE PERFORMED TO COMPLY WITH THE CITY REQUIREMENTS. IF THE TRENCHES ARE BACKFILLED AND OBSCURED TO THE POINT THAT AS-BUILT MEASUREMENTS CANNOT BE PERFORMED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POT HOLE UTILITY TRENCHES AS NECESSARY TO COMPLETE AN AS-BUILT SURVEY.

THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.

LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM THE BEST AVAILABLE RECORDS AND DOES NOT INCLUDE ALL UNDERGROUND UTILITIES SUCH AS ELECTRICAL, FUEL, AND/OR UNDERGROUND CABLE TV. PRIOR TO EXCAVATION THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL UTILITIES WHETHER OR NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL PROTECT ALL UTILITIES DURING CONSTRUCTION. ANY DISTURBANCE OR REPLACEMENT OF EXISTING UTILITIES SHALL BE INCIDENTAL TO THE PROJECT. THE PHONE NUMBER FOR SUNSHINE 811 IS (800) 432-4770.

THE DESIGNER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATION FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE DESIGNER.

ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES, AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING, OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.

THE DESIGNER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES, AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE DESIGNER.

FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES.

PROJECT LOCATION:
CITY OF JACKSONVILLE, DUVAL COUNTY
301 A. PHILIP RANDOLPH BLVD.
JACKSONVILLE, FL 32202

THE FOLLOWING IS A LIST OF COMPANIES WERE OBTAINED FROM THE BEST AVAILABLE RECORDS AND MAY NOT INCLUDE ALL UTILITY COMPANIES WHICH MAINTAIN UTILITIES WITHIN THE PROJECT AREA. THE FOLLOWING COMPANIES ARE LISTED ALONG WITH THEIR PHONE NUMBERS TO BE USED IN CASE OF EMERGENCY:

CITY OF JACKSONVILLE - (904) 630-CITY (2489)
JACKSONVILLE JUMBO SHRIMP - (904) 358-2846
JACKSONVILLE ELECTRIC AUTHORITY - (904) 665-6250
4MOST SPORT GROUP - (517) 403-2097

IT IS UNDERSTOOD AND AGREED THAT THE CONTRACTOR HAS CONSIDERED IN THE BID THE PERMANENT AND TEMPORARY UTILITY APPURTENANCES IN THEIR PRESENT OR RELOCATED POSITIONS AS SHOWN ON THE PLANS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR DELAYS, INCONVENIENCES OR DAMAGE SUSTAINED DUE TO INTERFERENCE FROM THE UTILITY APPURTENANCES OR THE OPERATION OF MOVING THEM.

IT IS ANTICIPATED THAT EXCAVATION IN AREAS ADJACENT TO AND/OR PARALLEL TO OTHER UNDERGROUND UTILITIES WILL NECESSITATE THE USE OF A TRENCH BOX OR SHORING IN ORDER TO PROTECT SAID UTILITIES.

CONSTRUCTION LIMITS

CONTRACTOR SHALL MAINTAIN CONSTRUCTION WORK WITHIN THE ROAD RIGHT-OF-WAY AS SHOWN ON THE PLANS. ANY DAMAGE OUTSIDE THESE CONSTRUCTION LIMITS WILL BE THE CONTRACTOR'S RESPONSIBILITY.


WHERE THE WORK IS ON PRIVATE PROPERTY, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE PROPERTY OWNERS, WELL IN ADVANCE OF BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE PROPERTY OWNER REGARDING SCHEDULING AND ACCESS TO THE PROPERTY. THE CONTRACTOR SHALL ALSO DISCUSS AND OBTAIN PERMISSION FOR USE OF ANY ADDITIONAL PROPERTY OUTSIDE OF THE CONSTRUCTION AREA WHICH THE CONTRACTOR DEEMS NECESSARY FOR LOCATION OF PIPE STORAGE, EXCAVATED MATERIAL, AND OTHER MATERIALS OR EQUIPMENT. AN AGREEMENT, SIGNED BY THE PROPERTY OWNER, AGREEING TO THE USE OF THE PROPERTY SHALL BE PROVIDED TO THE CITY AND THE DESIGNER PRIOR TO OCCUPYING PROPERTY OUTSIDE OF THE CONSTRUCTION AREA.

FOLLOWING INSTALLATION OF UTILITIES, ALL DISTURBED AREAS SHALL BE PROPERLY RESTORED TO ITS ORIGINAL CONDITION, AS MUCH AS IS PRACTICAL, AS HEREINAFTER SPECIFIED AND AS REQUIRED BY THE PROPERTY OWNER. ALL SUCH WORK MUST BE ACCEPTED AND APPROVED BY THE ENGINEER AND PROPERTY OWNERS.

ALL EXISTING TREES, SHRUBBERY, ETC.. SHALL REMAIN UNDISTURBED, UNLESS REMOVAL HAS BEEN AUTHORIZED BY THE OWNER. ALL CLEARING, GRUBBING, AND DISPOSAL AS AUTHORIZED BY THE OWNER SHALL BE INCIDENTAL TO THE PROJECT. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN ACCORDANCE WITH DRAWING AND PROJECT MANUAL.

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OUTDOOR ATHLETIC FACILITY
DESIGNERS & CONSULTANTS

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CONTRACTOR

Jacksonville Baseball LLC

Cover

Project Name

Project Address

Sheet Name

VyStar Ballpark

MILB Playing Field Renovations

301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

General Notes

No.	Description	Date

FOR REVIEW
ONLY

NOT FOR
CONSTRUCTION

Project Number

4M-120-S1-B

Date

6/8/2025

Drawn by

WRC

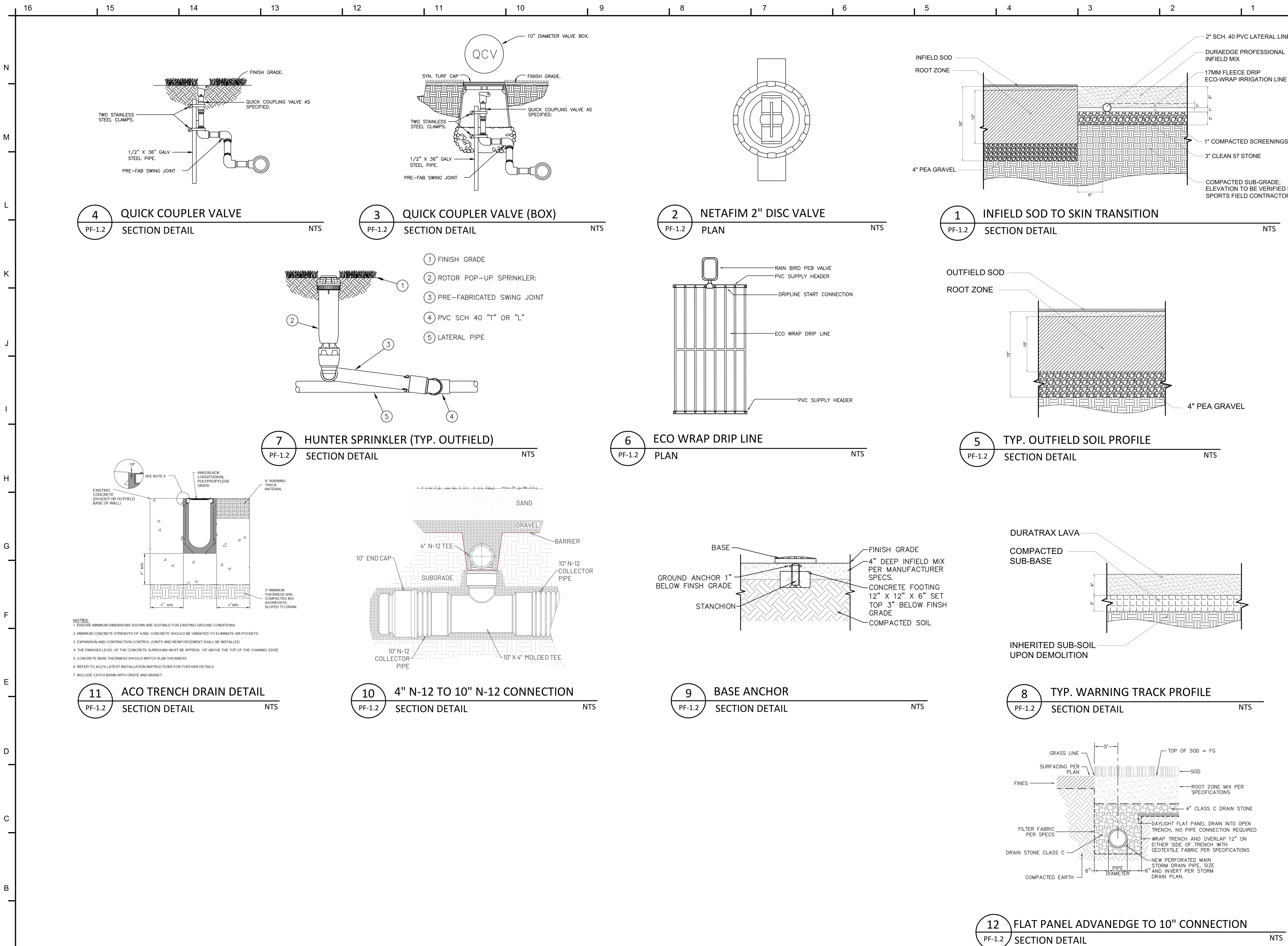
Checked by

GJD

PF-1.1

Scale

1" = 20'



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Owner

Project Name

Project Address

Sheet Name

VyStar Ballpark

MILB Playing Field Renovations

301 A. Philip Randolph Blvd.

Jacksonville, FL 32202

General Notes

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Project Number4M-120-S1-B

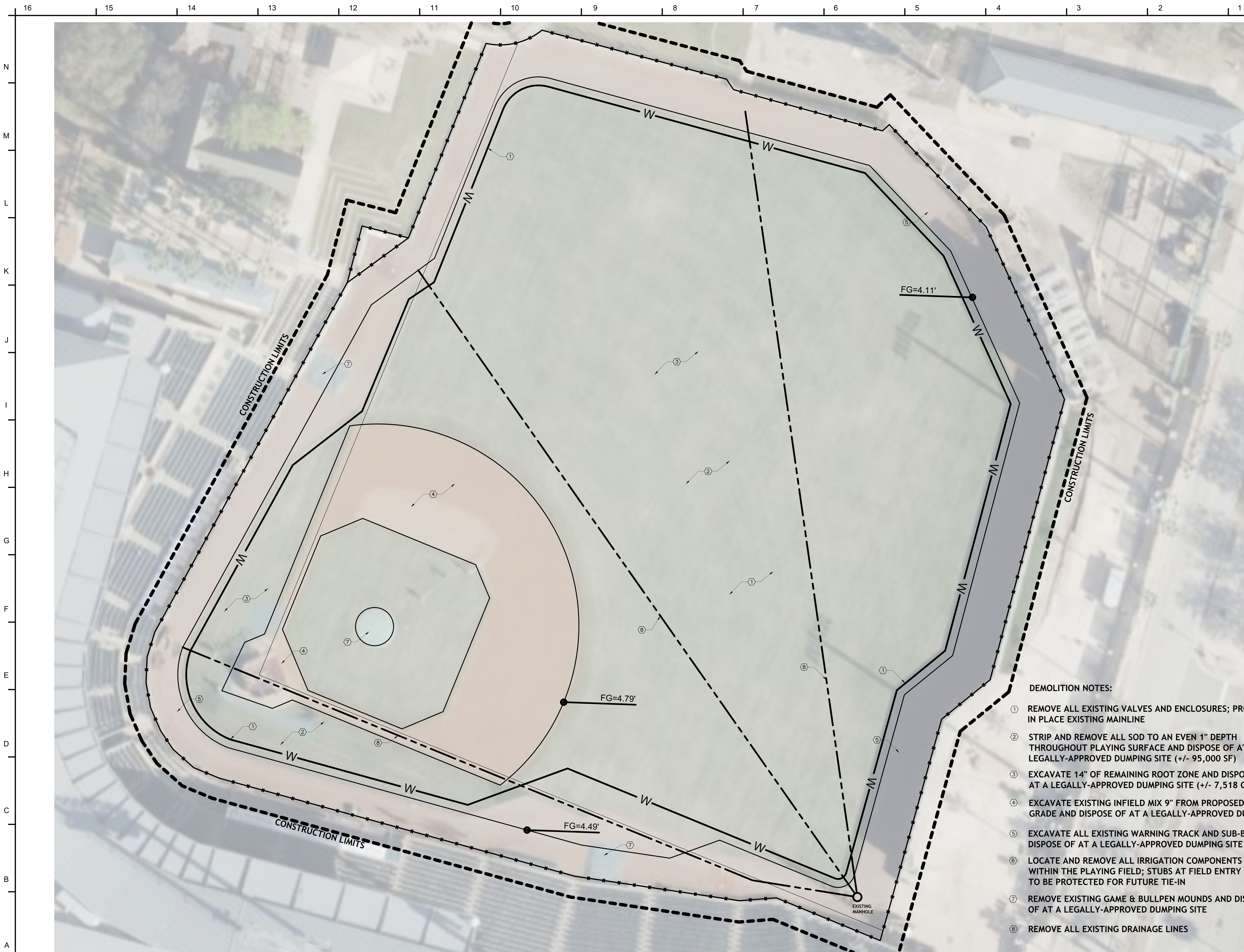
Date6/8/2025

Drawn byWRC

Checked byGJD

PF-1.2

Scale1" = 20'



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- DEMOLITION NOTES:**
- ① REMOVE ALL EXISTING VALVES AND ENCLOSURES; PROTECT IN PLACE EXISTING MAINLINE
 - ② STRIP AND REMOVE ALL SOD TO AN EVEN 1" DEPTH THROUGHOUT PLAYING SURFACE AND DISPOSE OF AT A LEGALLY-APPROVED DUMPING SITE (+/- 95,000 SF)
 - ③ EXCAVATE 14" OF REMAINING ROOT ZONE AND DISPOSE OF AT A LEGALLY-APPROVED DUMPING SITE (+/- 7,518 CY)
 - ④ EXCAVATE EXISTING INFIELD MIX 9" FROM PROPOSED FINISH GRADE AND DISPOSE OF AT A LEGALLY-APPROVED DUMPING SITE
 - ⑤ EXCAVATE ALL EXISTING WARNING TRACK AND SUB-BASE AND DISPOSE OF AT A LEGALLY-APPROVED DUMPING SITE
 - ⑥ LOCATE AND REMOVE ALL IRRIGATION COMPONENTS WITHIN THE PLAYING FIELD; STUBS AT FIELD ENTRY POINT TO BE PROTECTED FOR FUTURE TIE-IN
 - ⑦ REMOVE EXISTING GAME & BULLPEN MOUNDS AND DISPOSE OF AT A LEGALLY-APPROVED DUMPING SITE
 - ⑧ REMOVE ALL EXISTING DRAINAGE LINES



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CONTRACTOR

Jacksonville Baseball LLC

VyStar Ballpark
MiLB Playing Field Renovations

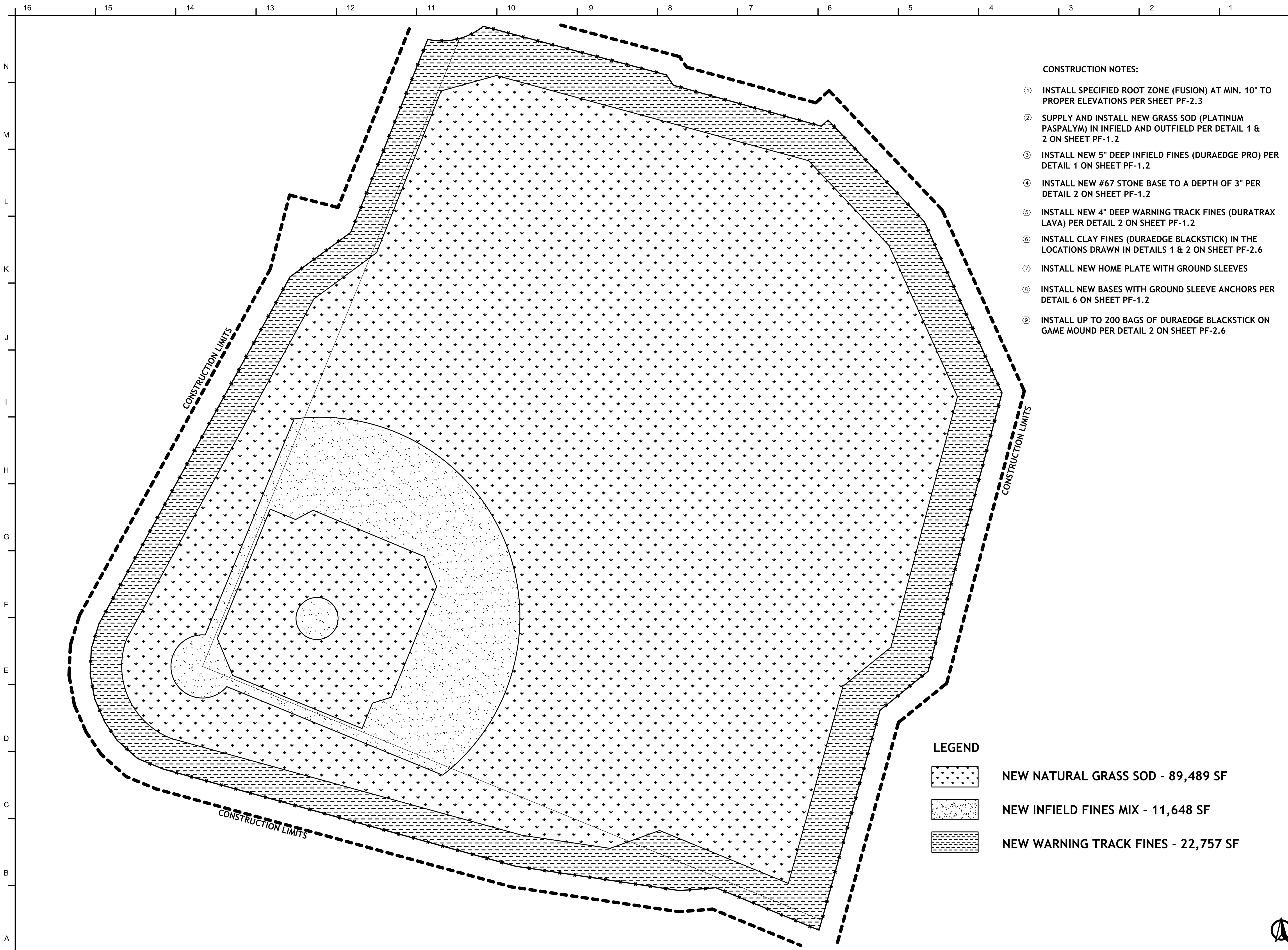
301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Existing Conditions & Demolition Plan

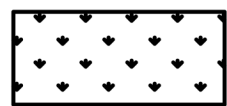
No.	Description	Date

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Project Number	4M-120-S1-B
Date	6/9/2025
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PF-2.1	
Scale	1" = 20'



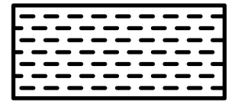
LEGEND



NEW NATURAL GRASS SOD - 89,489 SF



NEW INFIELD FINES MIX - 11,648 SF



NEW WARNING TRACK FINES - 22,757 SF

CONSTRUCTION NOTES:

- ① INSTALL SPECIFIED ROOT ZONE (FUSION) AT MIN. 10" TO PROPER ELEVATIONS PER SHEET PF-2.3
- ② SUPPLY AND INSTALL NEW GRASS SOD (PLATINUM PASPALYM) IN INFIELD AND OUTFIELD PER DETAIL 1 & 2 ON SHEET PF-1.2
- ③ INSTALL NEW 5" DEEP INFIELD FINES (DURAEDGE PRO) PER DETAIL 1 ON SHEET PF-1.2
- ④ INSTALL NEW #67 STONE BASE TO A DEPTH OF 3" PER DETAIL 2 ON SHEET PF-1.2
- ⑤ INSTALL NEW 4" DEEP WARNING TRACK FINES (DURATRAX LAVA) PER DETAIL 2 ON SHEET PF-1.2
- ⑥ INSTALL CLAY FINES (DURAEDGE BLACKSTICK) IN THE LOCATIONS DRAWN IN DETAILS 1 & 2 ON SHEET PF-2.6
- ⑦ INSTALL NEW HOME PLATE WITH GROUND SLEEVES
- ⑧ INSTALL NEW BASES WITH GROUND SLEEVE ANCHORS PER DETAIL 6 ON SHEET PF-1.2
- ⑨ INSTALL UP TO 200 BAGS OF DURAEDGE BLACKSTICK ON GAME MOUND PER DETAIL 2 ON SHEET PF-2.6



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CONTRACTOR

Owner Jacksonville Baseball LLC

Project Name VyStar Ballpark
MILB Playing Field Renovations

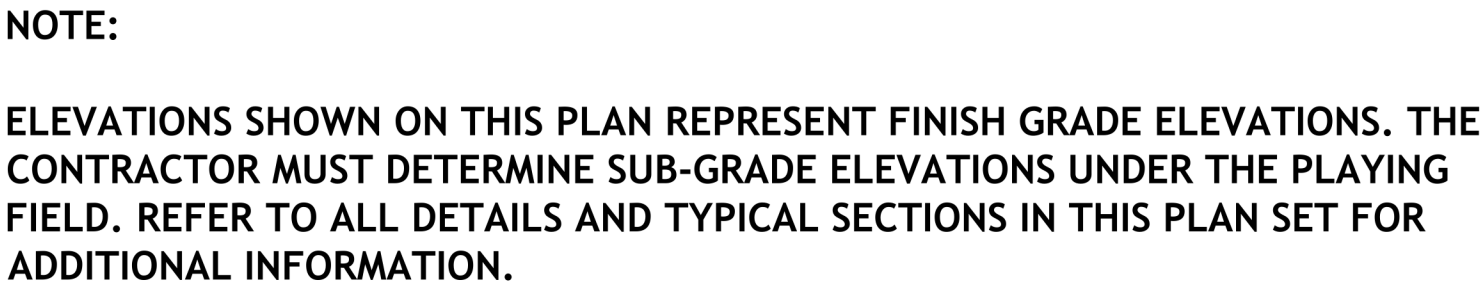
Project Address 301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Sheet Name Surfacing Plan

No.	Description	Date

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Project Number	4M-120-S1-B
Date	6/2/2025
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Checked by	GJD
PF-2.2	
Scale	1" = 20'



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CONTRACTOR

Jacksonville Baseball LLC

VyStar Ballpark
MiLB Playing Field Renovations
301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Grading Plan

No.	Description	Date

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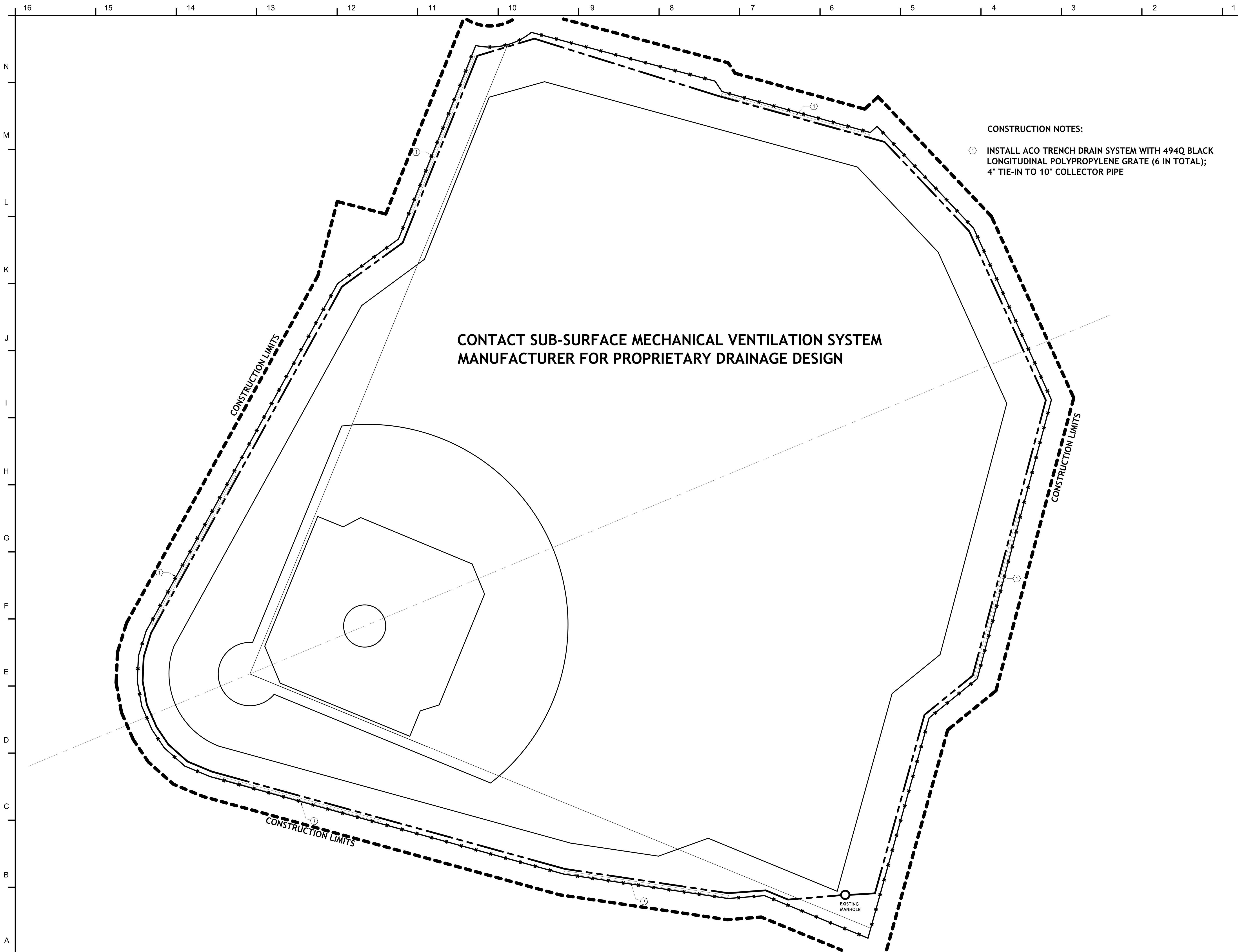
Project Number	4M-120-S1-
Date	5/16/2025
Drawn by	WRC
Checked by	GJD

PF-2.3

Scale 1' = 20'



Scale 1" = 20'



CONSTRUCTION NOTES:

① INSTALL ACO TRENCH DRAIN SYSTEM WITH 494Q BLACK LONGITUDINAL POLYPROPYLENE GRATE (6 IN TOTAL); 4" TIE-IN TO 10" COLLECTOR PIPE

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CONTRACTOR

Owner

Jacksonville Baseball LLC

Project Name

VyStar Ballpark
MiLB Playing Field Renovations

Project Address

301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Sheet Name

Drainage Plan

No.	Description	Date

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Project Number4M-120-S1-B

Date6/11/2025

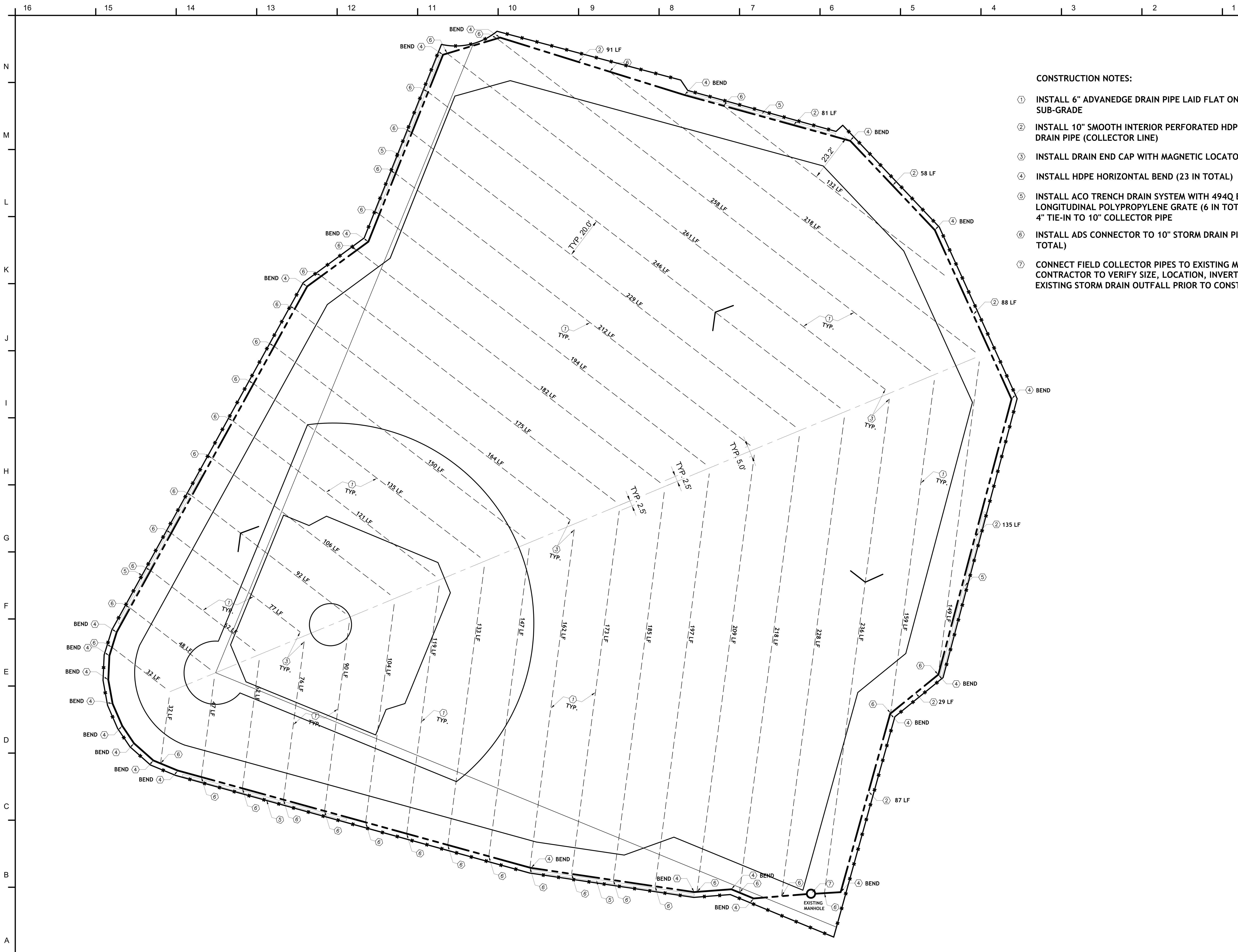
Drawn byWRC

Checked byGJD

PF-2.4

Scale1" = 20'





CONSTRUCTION NOTES:

- 1 INSTALL 6" ADVANEDGE DRAIN PIPE LAID FLAT ON SUB-GRADE
- 2 INSTALL 10" SMOOTH INTERIOR PERFORATED HDPE STORM DRAIN PIPE (COLLECTOR LINE)
- 3 INSTALL DRAIN END CAP WITH MAGNETIC LOCATOR TAPE
- 4 INSTALL HDPE HORIZONTAL BEND (23 IN TOTAL)
- 5 INSTALL ACO TRENCH DRAIN SYSTEM WITH 494Q BLACK LONGITUDINAL POLYPROPYLENE GRATE (6 IN TOTAL); 4" TIE-IN TO 10" COLLECTOR PIPE
- 6 INSTALL ADS CONNECTOR TO 10" STORM DRAIN PIPE (39 IN TOTAL)
- 7 CONNECT FIELD COLLECTOR PIPES TO EXISTING MANHOLE. CONTRACTOR TO VERIFY SIZE, LOCATION, INVERT OF EXISTING STORM DRAIN OUTFALL PRIOR TO CONSTRUCTION

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CONTRACTOR

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MiLB Playing Field Renovations
301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Drainage Plan

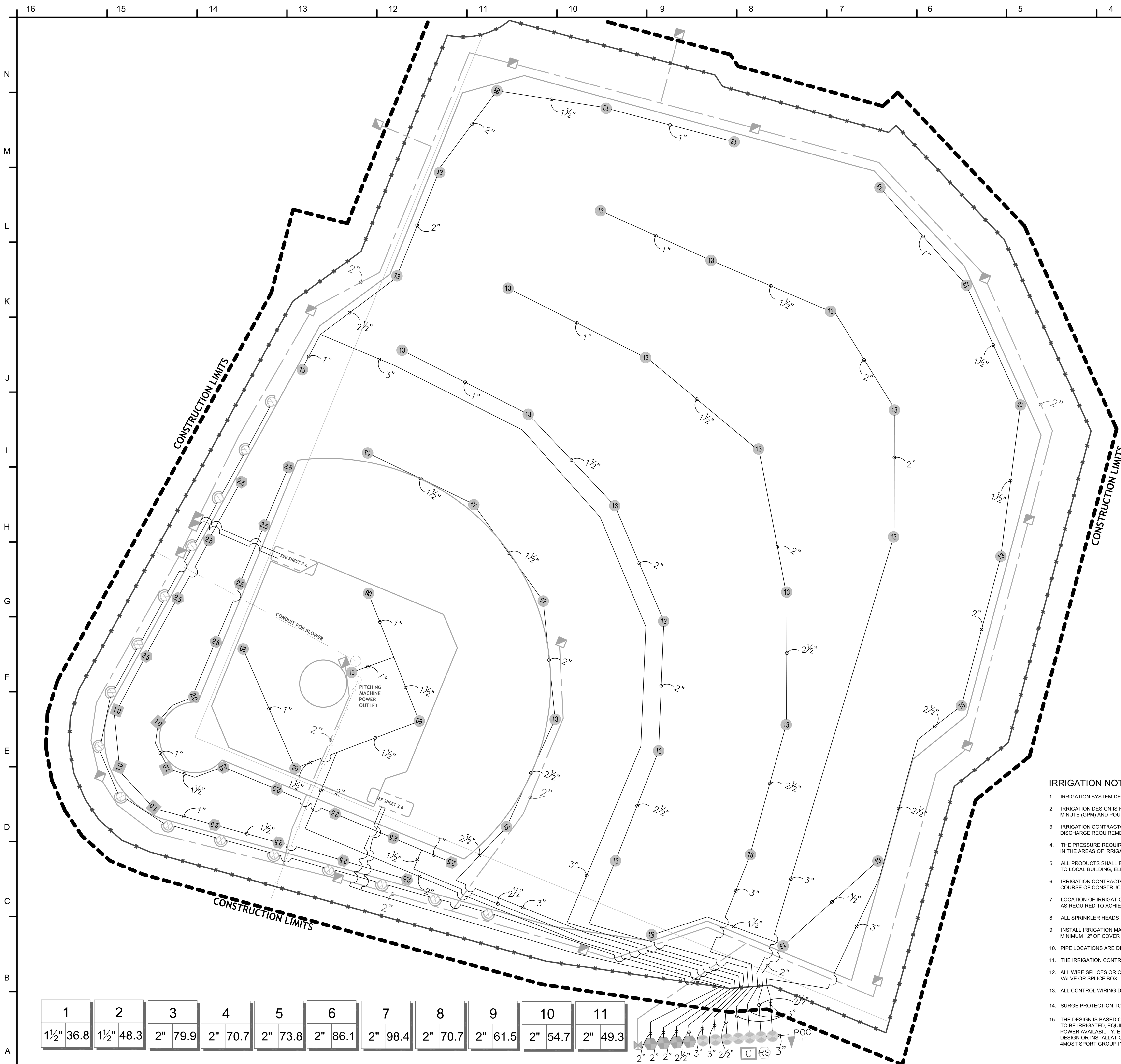
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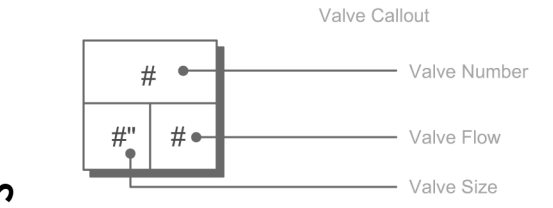
Project Number	4M-120-S1-B
Date	6/11/2025
Drawn by	WRC
Checked by	GJD
PF-2.4 - Alt.	
Scale	1" = 20'





IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY
	HUNTER I-20-04-LA-SS 2.0	2
	HUNTER I-20-04-LA-SS 2.5	16
	HUNTER I-20-04-SR-SS 1.0	5
	HUNTER I-40-04-SS 08	6
	HUNTER I-40-04-SS 13	35
SYMBOL	MANUFACTURER/MODEL	QTY
	HUNTER PGV-151 ELECTRIC VALVE W/ EZ-1 DECODER 1-1/2"	4
	HUNTER PGV-201 ELECTRIC VALVE W/ EZ-1 DECODER 2"	7
	HUNTER HQ-44RC QUICK COUPLER 1"	17
	BALL VALVE (MAIN LINE SIZE)	1
	GATE VALVE (MAIN LINE SIZE)	1
	HUNTER ICC2 EZDS 2 WIRE IRRIGATION CONTROLLER	1
	HUNTER WR-CLIK RAIN SENSOR	1
	POINT OF CONNECTION	1
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1"	966.4 L.F.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2"	790.2 L.F.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 2"	788.6 L.F.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 2 1/2"	906.7 L.F.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 3"	853.3 L.F.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 (GJ) 3"	50.3 L.F.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 2"	1,517 L.F.



IRRIGATION NOTES

- IRRIGATION SYSTEM DESIGN BASED ON 100 GPM AT 71 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION (POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE (GPM) AND POUNDS PER SQUARE INCH (PSI) FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5-FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES, EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERAL WITH A MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 2-WIRE 14AWG, UL APPROVED DIRECT BURY.
- SURGE PROTECTION TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC.). 4MOST SPORT GROUP BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO 4MOST SPORT GROUP IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.

4MOST
SPORT GROUP



149 South Broad Street | Grove City | Pennsylvania | 16127

OUTDOOR ATHLETIC FACILITY DESIGNERS & CONSULTANTS

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office@4mostsport.com
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CONTRACTOR

Fast Forward Sports Group

VyStar Ballpark
MiLB Playing Field Renovations

301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Irrigation Plan

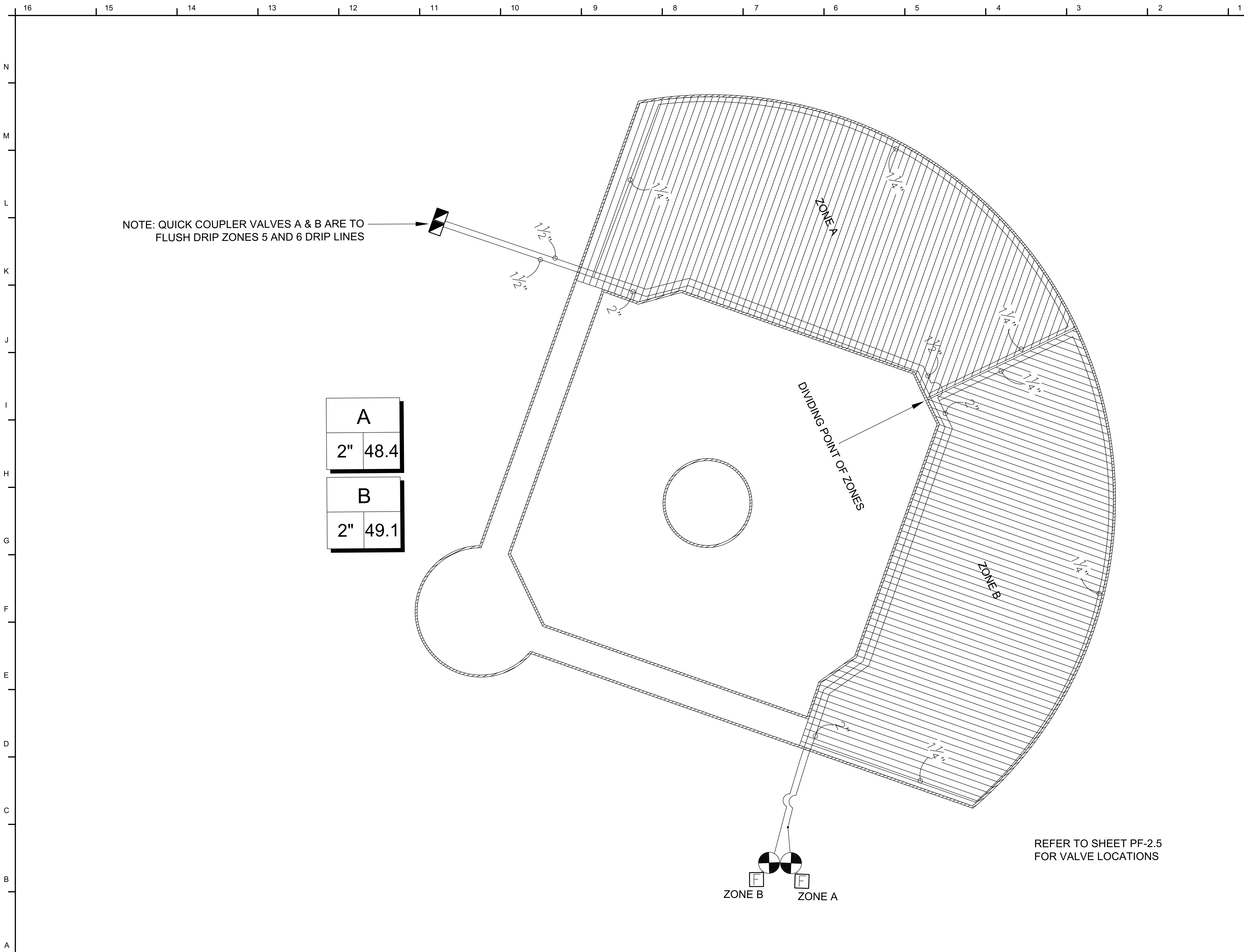
No.	Description	Date

FOR REVIEW
ONLY
NOT FOR
CONSTRUCTION


Project Number	4M-120-S1-B
Date	6/08/2025
Drawn by	WRC
Checked by	GJD

PF-2.5


Scale: 1" = 20'



A	
2"	48.4
B	
2"	49.1



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CONTRACTOR

Owner
Jacksonville Baseball LLC

Project Name
VyStar Ballpark
MiLB Playing Field Renovations

Project Address
301 A. Philip Randolph Blvd.
Jacksonville, FL 32202

Sheet Name
Infield Irrigation Plan

No.	Description	Date

FOR REVIEW
ONLY

NOT FOR
CONSTRUCTION

Project Number
4M-120-S1-B

Date
6/9/2025

Drawn by
WRC

Checked by
GJD

PF-2.6

Scale
1" = 10'



